

LEGEND

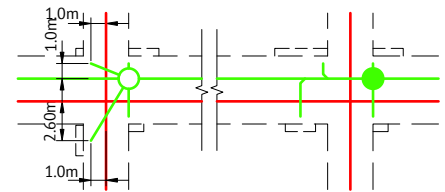
- ALLOWABLE DRIVEWAY ACCESS
- SEWER MAIN & MANHOLE
- SEWER RISING MAIN
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- LINK BLOCK RETAINING WALL
- EXISTING LINK BLOCK RETAINING WALL

BUILDING ENVELOPES

1. DIMENSIONS SHOWN ARE ADAPTED FROM THE QUEENSLAND DEVELOPMENT CODE (01.03.06) PART MP 1.2. DIMENSIONS SHOWN SHALL APPLY TO CLASS 1 SINGLE STORY STRUCTURES FOR CLASS 2 TWO STOREY STRUCTURES AND CLASS 10 STRUCTURES REFER TO THE CODE THE OUTERMOST PROJECTION (OP) IS A DISTANCE MEASURED FROM THE EDGE OF THE FASCIA BOARD TO THE PROPERTY BOUNDARY.
3. THE WALL SETBACK DISTANCE IS A DISTANCE MEASURED FROM THE FACE OF THE WALL TO THE PROPERTY BOUNDARY. NOTE: EAVE OVER HANG MAY PROJECT UP TO 600mm.
4. ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCILS POLICY ON BUILDING OVER ADJACENT SEWERS.

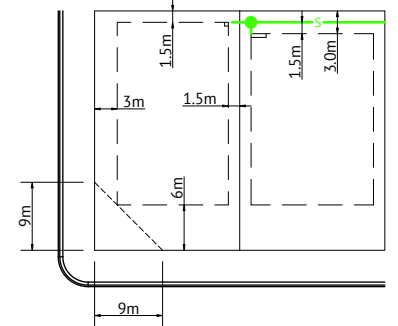
DRIVEWAY ACCESS ENVELOPES

1. FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.



HOUSE CONNECTION DETAIL

NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.



STANDARD BUILDING SETBACK

SCALE 1:500

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	BS REC	PP APP
26/02/21	1	PRELIMINARY - NOT FOR CONSTRUCTION		

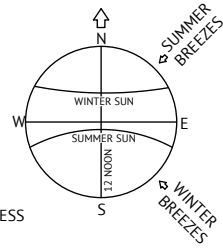
TOWNSVILLE OFFICE
 84 DENHAM STREET
 PO BOX 1110
 TOWNSVILLE, QLD 4810
 PH: (07) 4772 0666
 WEB: www.premise.com.au

DESIGNED: B.SHAND
 CHECKED: P.PETERSEN
 PROJECT MANAGER: P.PETERSEN
 ENGINEERING CERTIFICATION: P.PETERSEN RPEQ 13231

SCALE: 0 10 20 30m
 SCALE 1:500 (A1)
 ORIGINAL SHEET SIZE A1

CLIENT: ELEMENTS NQ PTY LTD
 PROJECT: THE ORCHARD - STAGE 3
 LOCATION: DARLING ROAD, JENSEN
 SHEET TITLE: BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 2 OF 3

JOB CODE: ELE-0006
 SHEET NUMBER: C038
 REV: 1



LEGEND

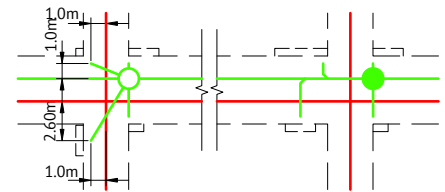
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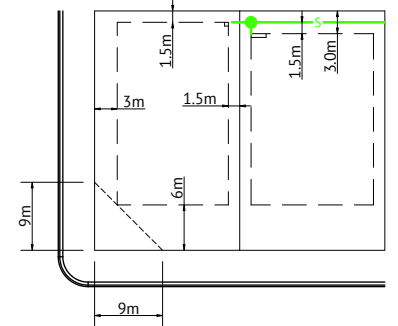
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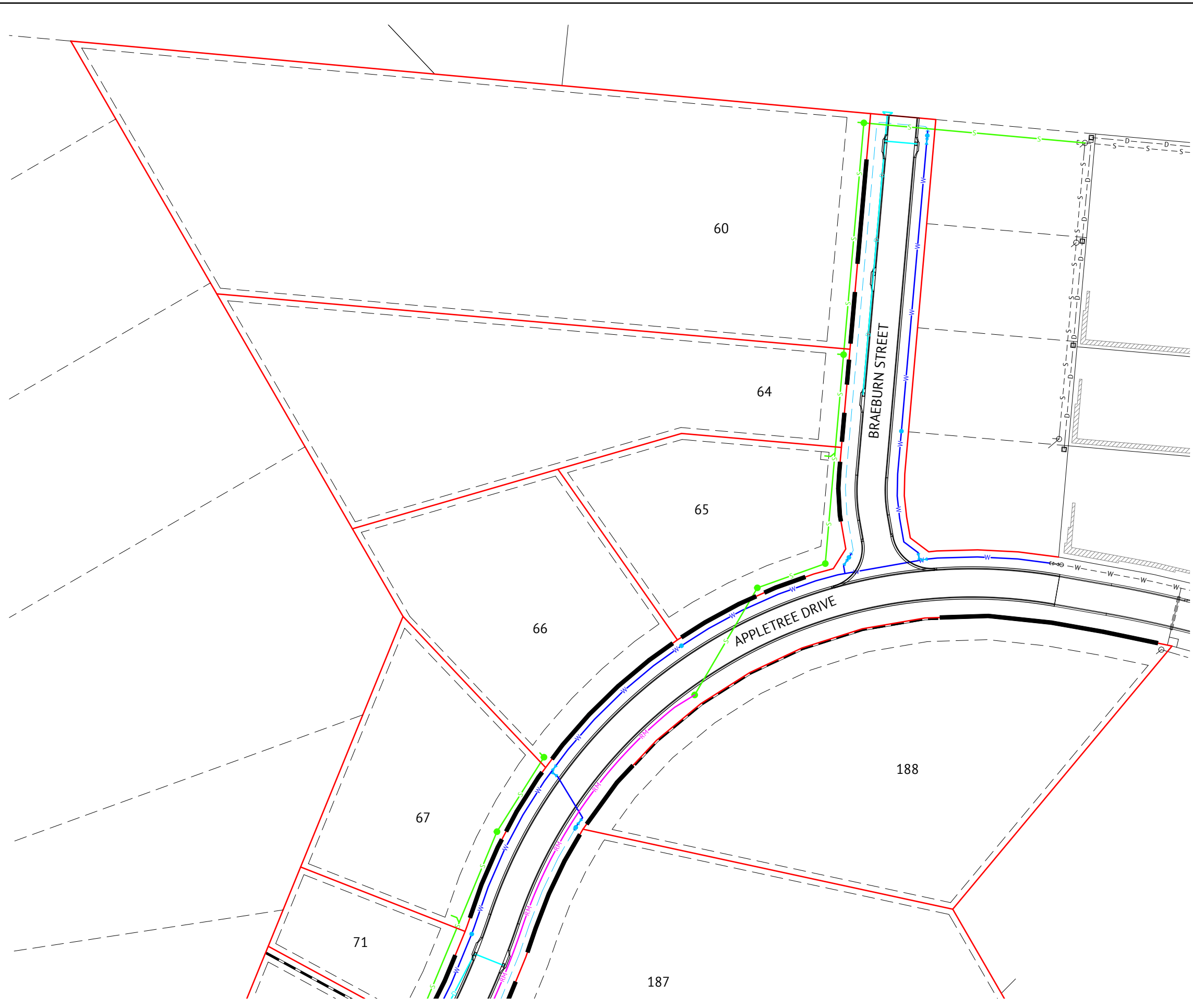
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PROJECT MANAGER
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ENGINEERING CERTIFICATION

P.PETERSEN RPEQ 13231

SCALE
0 10 20 30m

SCALE 1:500 (A1)

ORIGINAL SHEET SIZE A1

CLIENT
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PROJECT
THE ORCHARD - STAGE 3

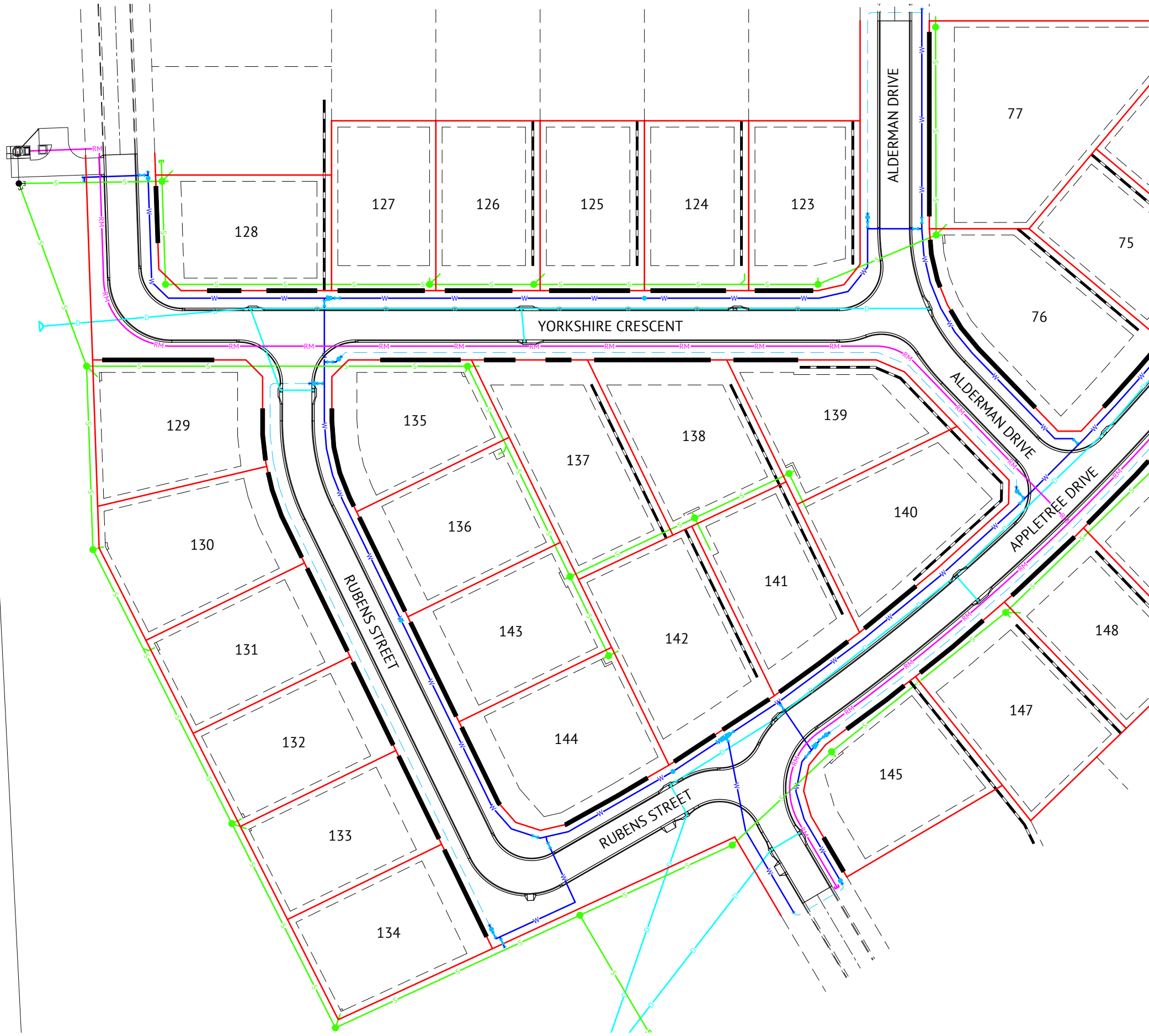
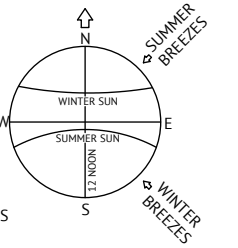
LOCATION
DARLING ROAD, JENSEN

SHEET TITLE
BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 1 OF 3

JOB CODE
ELE-0006

SHEET NUMBER
C037

REV
1



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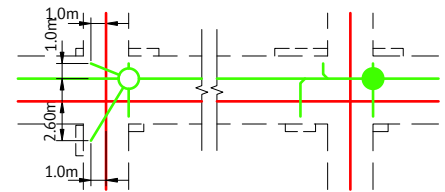
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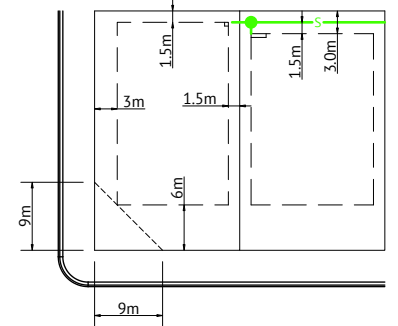
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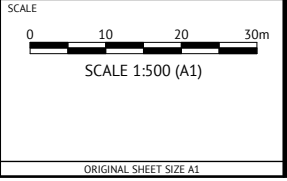
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PROJECT
THE ORCHARD - STAGE 3

LOCATION
DARLING ROAD, JENSEN

SHEET TITLE
BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 3 OF 3

JOB CODE
ELE-0006

SHEET NUMBER
C039

REV
1